

**MINUTES OF THE HUNTSVILLE TOWN
PLANNING COMMISSION MEETING**

MEETING DATE: June 23rd 2022
PLACE: Electronic Zoom Meeting with anchor location at Huntsville Library
 131 S 7400 E, Huntsville Utah
TIME: 6:30 p.m.

NAME	TITLE	STATUS
Doug Allen	Planning Commission Chair	Present
Liz Poulter	Planning Commissioner	Present
Steve Songer	Planning Commissioner	Present
Jeff Larsen	Planning Commissioner	Present
Allen Endicott	Planning Commissioner	Excused
Suzanne Ferree	Alt. Planning Commissioner	Present
Sandy Hunter	TC Liaison	Present
Shannon Smith	Town Clerk	Present
Bill Morris	Town Attorney	Excused

Citizens: Joshua Peel, Bruce Ahlstrom, Bill White, Hunter Murry and associate

1-Roll call: Chairman Allen welcomed all who are attending the meeting.

2-Approval of Minutes for Planning Commission Meeting 5.19.2022 (See Attachment #1)

PCM Poulter motioned to approve the amended minutes from May 19th, 2022. PCM Larsen seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Suzanne Ferree
NAYS:	

3- Approval of Minutes for Planning Commission Meeting 5.26. 2022 (See Attachment #2)

PCM Poulter motioned to approve the minutes from May 26th, 2022. PCM Ferree seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Susanne Ferree
NAYS:	

8- Discussion and/or action on Land Use Permit for Esther Hansen Deck extension.
Parcel # 240790001, 400 S. 7700 E. (See Attachment # 6)

Mr. Hansen Commented that there will be no interference with the septic system. The Deck will go over an existing concrete patio. PCM Poulter questioned the coverage of the lot. Mr. Hansen commented their lot is over an 11/2 acre and coverage currently is about 18% and they are not changing any footprint of any building. There will be a slight change in pitch of the roof with this addition.

PCM Larsen motioned to approve the Land Use permit for Esther Hansen Deck extension. Parcel # 240790001, 400 S. 7700 E. PCM Ferree seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Suzanne Ferree
NAYS:	

7- Discussion and/or action on Land Use Permit renewal for Bill White Pole Barn.
Parcel #240100014, 285 South 7500 East (See Attachment # 5)

Mr. White had a land use permit previously for this same lot, but it had expired. Mr. White plans to use this building for personal storage. Mr. White states there will most likely be electrical, , but no plumbing.

Chairman Allen motioned to approve the Land Use Permit for Bill White Pole Barn, 285 S. 7500 E. Parcel #240100014. PCM Poulter seconded the motion. Roll Call Vote. All Votes Aye. Motion Passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Suzanne Ferree
NAYS:	

5- Discussion and/or action on Land Use Permit Bean, New home Build. Parcel # 240140027, 140 South 7300 East (See Attachment #3)

PCM Songer entered the meeting 7:11pm

The height of the home was discussed. The plans we enlarged to read the max height of the roof to be 35 feet and the height of the Chimney cap to be 36' 2 1/2". It was the concern of the PC that the height was too tall. The PC requested that the house plans be redone to reflect a height of 35 Feet.

PCM Poulter questioned the coverage, Shannon was able to provide the answer of 19% coverage. As was emailed by the homeowner and calculated by the contractor. The square footage of the home and barn were discussed. PC agreed that the coverage was not an issue.

TCM Hunter requested a closer look at the height of the barn. The Barn was found to be 33 feet.

The height of the home was looked at closely. The chimney cap was over 35 feet which was a concern for the PC.

PCM Larsen requested a closer look at the barn. The plans were presented.

PCM Poulter motioned to Table the Land Use Permit for Bean New home Build, due to the issue of the height, 140 S. 7300 E. Parcel # 240140027. PCM Larsen seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Suzanne Ferree
NAYS:	

6-Discussion and/or action on Land Use Permit for Bean, Barn. Parcel # 240140027, 140 South 7300 East. (See Attachment #4)

Discussion on Barn as above.

PCM Larsen motioned to approve the Land Use Permit for Bean Barn. Parcel # 240140027, 140 South 7300 East. PCM Songer seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Suzanne Ferree
NAYS:	

4-Discussion on corner commercial lots- Hunter Murry to present w/ McKay Lewis.

Hunter wanted to get the opinion on the PC on the development on the 2 commercial lots that they are under contract with. Hunter has received input from the residents from the last community meeting.

Hunter is interested in mixed use with a combination of condos and commercial units. The idea if the Condo Units would be for short term rental with a possibility of some Condos to be owned and some to be short term be rented. The idea currently is that Hunters development would own and manage the commercial units and condos. They are thinking of 750 sq ft per unit, with 12 Condos. Retail space would be on the first level below the Condos. Septic will be a limiting factor for this development.

Hunter stated that the goal is to create a space fluid with the park and the area in general. Rentals will be slated for 30 days or less which qualifies for the transient tax fee that benefits the Town. On Call Management is what is currently in the plan.

There have been a few changes in Hunters plan as last presented at the community meeting. The topic of what kind of businesses would fit into and benefit the community. Ogden Valley Pizza, a small grocery store and a nicer sit-down restaurant are some of the ideas currently on the table.

The PC was very supportive of mixed use and liked the ideas Hunter presented. A citizen in attendance questioned the parking situation. Hunter commented that there will be some onsite parking, possibly shared with the Compass Rose. Also to utilize the parking currently available around the library area. Hunter also commented on events that area could host that would bring in customers and benefit the community.

It was discussed that there will need to be an HOA to govern the Condo's and some kind of on or off-site management. PCM Songer requested a render to move this project forward. Hunter stated that next time he is at a meeting with the Town he will have sight specific rendering and a narrowed down list of businesses.

9-Sandy's TC Updates

Bill and Micheal's Wangsgard property access was circled back to at the TC. This issue is still being worked out. A joint work session is in process of being set up to discuss the changes to the A3 and C1 Zones. The Planning Commission Ordinance also needs to be addressed and passed.

10-Public Comment. There was a question on why condos are allowed in the Commercial Zone. TC Hunter commented it all comes down to Zoning. There was also a question about an alley way vs a road in Town. TC Hunter referred to the code to about frontage and alley's in regards to the Wangsgard's situation.

11-Chairman's Remarks. Chairman Allen deferred his time to Steve Songer. PCM Songer commented on an e-mail he received from the Mayor regarding a shed PCM Songer is building on his property. PMC Songer referenced the Town Ordinance in reference to this matter. PCM Songer brought up the issue of the Town's lack of enforcement. PCM Songer was strongly opposed neighbors reporting neighbors. The PC was in agreement. It was the consensus of the PC that lack of enforcement is an issue and something the Town needs to step up and work on.

PCM Songer Thanked all the members for their service.

12-Motion to adjourn.

PCM Songer made a motion to adjourn the meeting. PCM Larsen seconded the motion. All votes Aye. Motion Passes.

Meeting is adjourned at 8:52 p.m.


Shannon Smith, Clerk

HUNTSVILLE TOWN PLANNING COMMISSION

Public notice is hereby given that the Huntsville Town Planning Commission will hold its regular public meeting, Thursday June 23rd, 2022, 6:30 p.m. at Huntsville Library. The meeting will be broadcasted on the Town YouTube Channel for the link visit our website at www.huntsvilletown.com.

DATE: Thursday June 23rd, 2022
PLACE: 131 S 7400 E, Huntsville & Zoom Access
TIME: 6:30 P.M.

- 1) Roll call.
- 2) Approval of Minutes for Planning Commission Meeting for May 19th, 2022.
- 3) Approval of Minutes for Planning Commission Meeting May 26th, 2022
- 4) Discussion on corner commercial lots- Hunter Murry to present
- 5) Discussion and/or action on Land Use Permit Bean, New home Build.
Parcel # 240140027, 140 South 7300 East.
- 6) Discussion and/or action on Land Use Permit for Bean, Barn. Parcel # 240140027, 140 South 7300 East.
- 7) Discussion and/or action on Land Use Permit renewal for Bill White Pole Barn.
Parcel #240100014, 285 South 7500 East.
- 8) Discussion and/or action on Land Use Permit for Esther Hansen Deck extension.
Parcel # 24079000, 400 S. 7700 E.
- 9) Sandy's TC Updates
- 10) Public Comment.
- 11) Chairman's Remarks
- 12) Motion to adjourn.

CERTIFICATE OF PASSAGE AND PUBLICATION OR POSTING According to the provision of U.C.A. §10-3-713, 1953 as amended, I, the municipal clerk/recorder of Huntsville Town, hereby certify that foregoing agenda was duly published, or posted the following:

Dated this 21st of June, 2022

Shannon Smith, Clerk

Town Hall
Post Office
huntsvilletown.com
pnm.utah.gov

In compliance with the Americans with Disabilities Act, persons needing assistance with attendance to these meetings should call Shannon Smith@745-3420, giving at least a 48-hour advance notice. Huntsville Town is an equal opportunity employer.

**MINUTES OF THE HUNTSVILLE TOWN
PLANNING COMMISSION MEETING**

MEETING DATE: May 26th, 2022
PLACE: Electronic Zoom Meeting with anchor location at Huntsville Library
131 S 7400 E, Huntsville Utah
TIME: 7:00 p.m.

NAME	TITLE	STATUS
Doug Allen	Planning Commission Chair	Present
Liz Poulter	Planning Commissioner	Present
Steve Songer	Planning Commissioner	Present
Jeff Larsen	Planning Commissioner	Present
Allen Endicott	Planning Commissioner	Present
Suzanne Ferree	Alt. Planning Commissioner	Present
Sandy Hunter	TC Liaison	Zoom
Shannon Smith	Town Clerk	Excused
Bill Morris	Town Attorney	Excused

Citizens: Kevin Anderson, Artie Powell, Richard Sorenson.

1-Roll call: Chairman Allen welcomed all who are attending the meeting.

2- Discussion and/or action on Ordinance 2022-5-26: An Ordinance Amending 15.1 Allowable Use Table and Title 15.10 Agricultural Zone A-3. (See Attachment #1)

Chairman Allen voiced concerns about the Ordinance being ready at this time. There was a comment from Chairman Allen that TCM Hunter told him that the Ordinance can be tweaked even after the public hearing. There were some concerns with the language about animals on this Ordinance. Beckki clarified that most of the Ordinance was actually taken directly from the current Ordinance and was added to. What was added were parts from the R-1 Zone as the Town would like the A-3 and R-1 Zones to have a similar feel.

PCM Poulter stated at she was comfortable moving this forward knowing that the PC can adjust it in the future as needed. PCM Larsen stated that he would like to go through the Ordinance and get it moved along. PCM Songer stated that he was willing to work through this Ordinance, but he was uncomfortable with the way it was written and presented at the prior meeting. And he would like to address the changes needed.

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PCM Poulter questioned PCM Songer about what changes he would like to see. Discussion continued with several different questions and concerns. TCM Hunter commented that she had gone through the Ordinance very carefully. TCM Hunter commented that in her opinion the Town does not want to eliminate all the animal items.

It was clarified that the PC can make changes to this Ordinance after the public hearing.

Chairman Allen commented that the PC would like to adjust this Ordinance and make it right. TCM Hunter was concerned with referencing Zones as there could be an issue with consistence in the future.

Beckki commented that as she went through to adjust this Ordinance she found some grey areas that she was able to correct.

Chairman Allen expressed concern about the possibility of Sage development applying for a rezone in the future, and what that would mean for the Town.

Comment from Artie Powell, about frontage on a 3 vs. 5 acer lot. PCM Songer felt there was not need to state a different frontage for 3 vs. 5 acre lots. It discussed whether a ratio could be set on frontage in relation to acreage.

It is also to be noted that the conditional use table addresses uses allowed on larger lots.

PCM Larsen motioned to recommend approval of Huntsville Town Ordinance 2022-5-26 to the Town Council, considering the amendment to the frontage requirement . PCM Poulter seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Allen Endicott
NAYS:	

3-Discussion and/or action on Ordinance 2022-5-26-B: An Ordinance Amending 15.1 Allowable Use Table and Title 15.8 Commercial Zone. (See Attachment #2)

Chairman Allen asked for opinions from the PC on this Ordinance. The subject of how the hiring of John Janson to work on the Town Ordinances came about. Kevin Anderson was present to explain his role in recommending Mr. Janson. Mayor Sorensen also commented on the hiring of Mr. Janson.

Beckki explained the process that is involved in the updating of the Town Code. PCM Songer expressed concern with the appearance of any new Commercial buildings. Then the new Commercial Zone Ordinance is decided upon, any new building or remodel will fall under the new regulations.

Fencing regulations were discussed, with comments from Mayor Sorensen. Chairman Allen expressed a desire for Town Code to be agreeable for the long term. It was agreed that the fencing item was too strict and could allow for a few acceptable types that fit in with the feel of downtown Huntsville.

PCM Larsen suggested the following statement to be add, "It is encouraged that Parking lots located to the side shall be buffered with fencing, consistent with other historic fencing in the C-1 Zone. With the addition the sentence regarding where the fence should be located. PCM Poulter suggested that instead of listing what is not allowed, list what is preferred. PC agreed that vinal, chain link, barbed wire or security fences should be listed as NOT allowable.

PCM Songer commented on the siding materials, it was decided that can be discussed another time. Beckki commented on the allowable use table and adding the wordage that what is not on the use table will not be permitted.

PCM Poulter motioned to recommend approval of Ordinance 2022-5-26-B to the Town Council for the Commercial C-1 Zone, with the adjustments made in this meeting. PCM Songer seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Allen Endicott
NAYS:	

12-Public Comment. There were none.

13-Chairman's Remarks. Chairman Allen thanked all for the discussion.

14-Motion to adjourn.

PCM Songer made a motion to adjourn the meeting. PCM Endicott seconded the motion. Hearing no opposition, Motion Passes by acclimation.

Meeting is adjourned at 8:19 p.m.

Shannon Smith, Clerk

**MINUTES OF THE HUNTSVILLE TOWN
PLANNING COMMISSION MEETING**

MEETING DATE: May 26th, 2022
PLACE: Electronic Zoom Meeting with anchor location at Huntsville Library
131 S 7400 E, Huntsville Utah
TIME: 7:00 p.m.

NAME	TITLE	STATUS
Doug Allen	Planning Commission Chair	Present
Liz Poulter	Planning Commissioner	Present
Steve Songer	Planning Commissioner	Present
Jeff Larsen	Planning Commissioner	Present
Allen Endicott	Planning Commissioner	Present
Suzanne Ferree	Alt. Planning Commissioner	Present
Sandy Hunter	TC Liaison	Zoom
Shannon Smith	Town Clerk	Excused
Bill Morris	Town Attorney	Excused

Citizens: Kevin Anderson, Artie Powell, Richard Sorenson.

1-Roll call: Chairman Allen welcomed all who are attending the meeting.

2- Discussion and/or action on Ordinance 2022-5-26: An Ordinance Amending 15.1 Allowable Use Table and Title 15.10 Agricultural Zone A-3. (See Attachment #1)

Chairman Allen voiced concerns about the Ordinance being ready at this time. There was a comment from Chairman Allen that TCM Hunter told him that the Ordinance can be tweaked even after the public hearing. There were some concerns with the language about animals on this Ordinance. Beckki clarified that most of the Ordinance was actually taken directly from the current Ordinance and was added to. What was added were parts from the R-1 Zone as the Town would like the A-3 and R-1 Zones to have a similar feel.

PCM Poulter stated at she was comfortable moving this forward knowing that the PC can adjust it in the future as needed. PCM Larsen stated that he would like to go through the Ordinance and get it moved along. PCM Songer stated that he was willing to work through this Ordinance, but he was uncomfortable with the way it was written and presented at the prior meeting. And he would like to address the changes needed.

PCM Poulter questioned PCM Songer about what changes he would like to see. Discussion continued with several different questions and concerns. TCM Hunter commented that she had gone through the Ordinance very carefully. TCM Hunter commented that in her opinion the Town does not want to eliminate all the animal items.

It was clarified that the PC can make changes to this Ordinance after the public hearing.

Chairman Allen commented that the PC would like to adjust this Ordinance and make it right. TCM Hunter was concerned with referencing Zones as there could be an issue with consistence in the future.

Beckki commented that as she went through to adjust this Ordinance she found some grey areas that she was able to correct.

Chairman Allen expressed concern about the possibility of Sage development applying for a rezone in the future, and what that would mean for the Town.

Comment from Artie Powell, about frontage on a 3 vs. 5 acer lot. PCM Songer felt there was not need to state a different frontage for 3 vs. 5 acre lots. It discussed whether a ratio could be set on frontage in relation to acreage.

It is also to be noted that the conditional use table addresses uses allowed on larger lots.

PCM Larsen motioned to recommend approval of Huntsville Town Ordinance 2022-5-26 to the Town Council, considering the amendment to the frontage requirement . PCM Poulter seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Allen Endicott
NAYS:	

3-Discussion and/or action on Ordinance 2022-5-26-B: An Ordinance Amending 15.1 Allowable Use Table and Title 15.8 Commercial Zone. (See Attachment #2)

Chairman Allen asked for opinions from the PC on this Ordinance. The subject of how the hiring of John Janson to work on the Town Ordinances came about. Kevin Anderson was present to explain his role in recommending Mr. Janson. Mayor Sorensen also commented on the hiring of Mr. Janson.

Beckki explained the process that is involved in the updating of the Town Code. PCM Songer expressed concern with the appearance of any new Commercial buildings. Then the new Commercial Zone Ordinance is decided upon, any new building or remodel will fall under the new regulations.

Fencing regulations were discussed, with comments from Mayor Sorensen. Chairman Allen expressed a desire for Town Code to be agreeable for the long term. It was agreed that the fencing item was too strict and could allow for a few acceptable types that fit in with the feel of downtown Huntsville.

PCM Larsen suggested the following statement to be add, "It is encouraged that Parking lots located to the side shall be buffered with fencing, consistent with other historic fencing in the C-1 Zone. With the addition the sentence regarding where the fence should be located. PCM Poulter suggested that instead of listing what is not allowed, list what is preferred. PC agreed that vinal, chain link, barbed wire or security fences should be listed as NOT allowable.

PCM Songer commented on the siding materials, it was decided that can be discussed another time. Beckki commented on the allowable use table and adding the wordage that what is not on the use table will not be permitted.

PCM Poulter motioned to recommend approval of Ordinance 2022-5-26-B to the Town Council for the Commercial C-1 Zone, with the adjustments made in this meeting. PCM Songer seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen Commissioner Allen Endicott
NAYS:	

12-Public Comment. There were none.

13-Chairman’s Remarks. Chairman Allen thanked all for the discussion.

14-Motion to adjourn.

PCM Songer made a motion to adjourn the meeting. PCM Endicott seconded the motion. Hearing no opposition, Motion Passes by acclamation.

Meeting is adjourned at 8:19 p.m.

Shannon Smith, Clerk

**MINUTES OF THE HUNTSVILLE TOWN
PLANNING COMMISSION MEETING**

MEETING DATE: May 19th, 2022
PLACE: Electronic Zoom Meeting with anchor location at Huntsville Library
131 S 7400 E, Huntsville Utah
TIME: 6:00 p.m.

NAME	TITLE	STATUS
Doug Allen	Planning Commission Chair	Present
Liz Poulter	Planning Commissioner	Present
Steve Songer	Planning Commissioner	Present
Jeff Larsen	Planning Commissioner	Present
Allen Endicott	Planning Commissioner	Excused
Suzanne Ferre	Alt. Planning Commissioner	Excused
Sandy Hunter	TC Liaison	Zoom
Shannon Smith	Town Clerk	Present
Bill Morris	Town Attorney	Excused

Citizens: Boy Scout Troop #129, John Janson, Bill White, Dale Maxwell, Ron Gault, Bruce Ahlstrom, Tommy Christy

1-Roll call: Chairman Allen welcomed all who are attending the meeting. Chairman Allen recognized Boy Scout Troop #129, who lead the group in the pledge of allegiance.

Chairman Allen asked Mr. Janson to introduce himself. Mr. Janson commented that he has been hired by Huntsville to update and re-write the Town Ordinances. Mr. Janson said that the conditional Use Chapter does need updating as well. Per state code conditional use permits are now harder to deny. He also commented on some other areas he is planning on updating in the future.

PCM Poulter motions to close the regular meeting and open the public hearing on the Ordinances as reflected on the agenda. PCM Songer seconds the motion. All votes Aye. Motion Passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

2- Public Hearing on Ordinance 2022-5-26- A3 Zone* And Ordinance 2022-5-26 B- C1 Zone *

*Also, to reference the Allowable Use Table (**Attachment #1 & #2**)

PCM Larsen reviewed the changes in the **C1 Zone**.

Chairman Allen welcomed Public Comment. A comment was made about lighted signs. Chairman Allen commented on the “Storm Drain” wordage, the Town does not have a Storm Drain system. A few other minor adjustments were referred to and Mr. Janson will fix.

Tommy Christy commented on the Ordinance and is interested in its progress.

PMC Larsen reviewed the changes to the **A3 Zone**.

John Janson spoke on behalf of the changes make to the Ordinances above. He will make the changes addressed by the PC and consider the public comments. PCM Poulter mentioned signage issues. Mr. Janson did say he would like to come back to the signage issue and address it with appropriate zones. The conditional use table also needs to be modified.

PCM Poulter motioned to close public hearing and Open regular Planning Commission meeting. PCM Songer seconded the motion. All votes Aye. Motion Passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

3–Approval of Minutes for Planning Commission Meeting April 28th, 2022. (See Attachment #3)

Chairman Allen asked that TCM Hunter review the minutes concerning the Tom Freeman agenda item. It was clarified and agreed that Tom Freeman/Frank Clawson needed to provide written documentation of any evidence to the claims he made at the April 2022 PC meeting.

PCM Songer motioned to approve the amended minutes from April 28th, 2022. PCM Poulter seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

4-Discussion and/or action on Land Use Permit for Maxwell Pool, 6880 E. 200 N., Parcel # 200590006 (See Attachment #4)

Chairman Allen questioned the difference between the plans presented and the original plans presented about a year ago. The pool contractor was present to speak to the plans presented. The setbacks of the pool were discussed. He stated the pool will be fenced and covered.

PCM ~~Hunter~~ ^{Poulter} commented on the coverage issue. The PC agreed that the coverage would need to be calculated by the Homeowner. This was added as a stipulation on the Land Use Permit.

PCM Larsen motioned to approve the Land Use permit for Maxwell Pool, 6880 E. 200 N., Parcel # 200590006, with the condition to be at or under the 35% allowable coverage. PCM Songer seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

6- Discussion and/or action on Planning Commission Ordinance (See Attachment #5)

Term periods were discussed in relation to the Ordinance. The new Ordinance suggests a 2-year term as compared to the current 5-year term. PCM Larsen was in favor of the 2-year term with an option with renewing. Bruce Ahlstrom commented on the Town Council's view on the 2-year term limit. The issue of the alternate PC member was discussed.

PCM Larsen questioned the review process as defined in the proposed Ordinance. Ron Gault commented on the intent of the Land Use Permit. The PC votes on whether the permit meets the Ordinance or not. And if not, then there is an option to go to the TC, who gets to give its opinion. And then the Appeals authority is the final step of the decision process.

PCM Larsen would like clarification on the intent of section 6 and the review process. Mr. Ahlstrom comments on the review process. Also questions the options of an appeals authority as a board or one person. Bill White gave his personal opinion, as an appeals authority member. Mr. Ahlstrom comments that the TC discussed having a professional, that lives outside of town, to fill that role.

Chairman Allen comments that in his opinion government works more efficiently on checks and balances. PCM Poulter commented on 3 E, about a quorum and electronically present is accessible.

PMC Larsen motioned to Table the Planning Commission Ordinance, until the next schedules PM meeting. PCM Poulter seconded the motion. Votes Aye. Motion Passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

7- Discussion and/or action on Annexation Agreement (See Attachment #3)

Ron Gault present to speak on behalf of his changes. Ron has in general brought this plan up to date. Ron requests that any comments by the PC to be forwarded to him. Mr. Gault went over the map and the proposed primary annexation area, he has created. Water is a large issue when considering annexation.

The issue of impact fees was brought up and discussed by the PC and the public.

The map is important because if the Town wants the option to annex then the area needs to be included in this new map. It does not mean that the Town is obligated to annex, but it will have the option to do so. Chairman Allen spoke in favor of a larger annexation area. Bill White spoke with caution on large annexation with regards to water. PCM Larsen posed the question on weather leaving the Towns potential annexation area smaller rather than larger could be an issue for a town in the future.

The map is the issue the PC debated. The area of potential annexation is a large concern as far as the issue of water and the water treatment system.

PCM Larsen motioned to Table the Annexation Agreement, for no later than July PC meeting. PCM Poulter seconded the motion. All votes Aye. Motion passes. Votes are reflected below.

VOTES:	
AYES:	Chairman Doug Allen Commissioner Liz Poulter Commissioner Steve Songer Commissioner Jeff Larsen
NAYS:	

8- Sandy's TC Updates- TCM Hunter was out of town and unable to connect via Zoom.

9-Public Comment. There were none.

10-Chairman's Remarks. Chairman Allen commented on the previous Town meeting about the Sage Development. He was concerned about the building envelopes in that development. Chairman Allen stated he felt this information was important to include in the development agreement. Chairman Allen also expressed concerns about the transparency on some of the issues with Sage development.

11-Motion to adjourn.

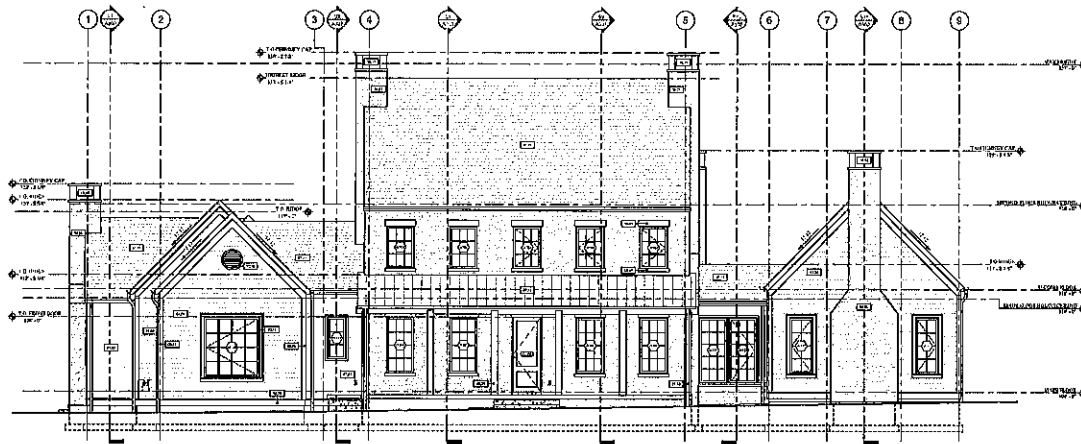
PCM Songer made a motion to adjourn the meeting. PCM Larsen seconded the motion. All votes Aye. Motion Passes.

Meeting is adjourned at 8:49 p.m.

Shannon Smith, Clerk

DRAFT

PC Meeting 6-23-2022
Attachment #3

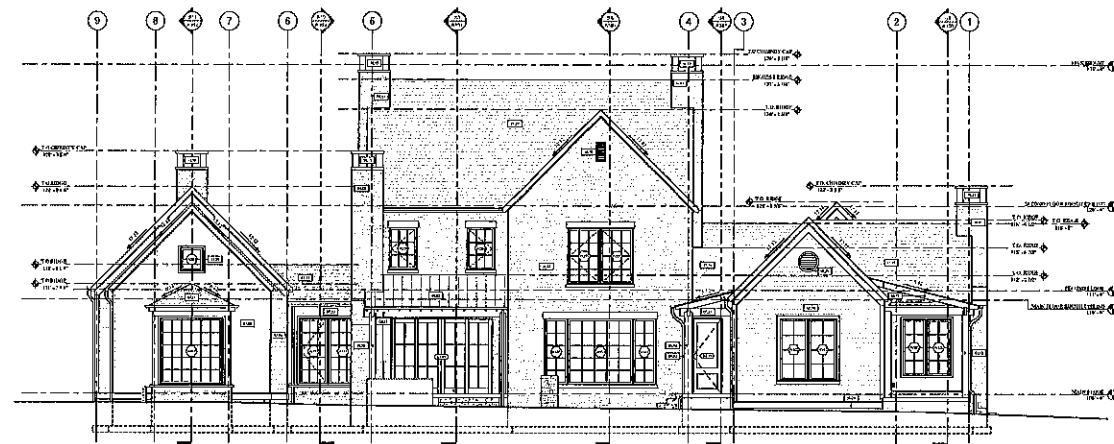


FRONT (W) ELEVATION

- ELEVATION NOTES**
1. SEE DOOR AND WINDOW SCHEDULES FOR DOOR AND WINDOW MARKINGS AND SCHEDULES.
 2. SEE BUILDING SECTIONS FOR BEAM BEARING HEIGHTS AND RISE HEIGHTS.
 3. SEE UNIFORM ELEVATION PLANS FOR WINDOW HEADS AND SILLINGS.
 4. FOR CURVED ROOF SECTIONS, SEE ROOF PLAN FOR SIZES AND SHAPES.
 5. SEE CITY FOR EXACT GRADE HEIGHTS AND SLOPES.

KEYED NOTES

1	TO FINISH
2	TO ROOF
3	TO EAVE
4	TO FINISH
5	TO FINISH
6	TO FINISH
7	TO FINISH
8	TO FINISH
9	TO FINISH
10	TO FINISH
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19	TO FINISH
20	TO FINISH



BACK (E) ELEVATION

DALLEY DESIGN STUDIO

ARCHITECTS

115 S. MAIN ST. SUITE 200
SALT LAKE CITY, UT 84111

BEAN RESIDENCE

41 E. MAIN ST. SUITE 200
SALT LAKE CITY, UT 84111

PERMIT SET J

6425-2022

DATE: 06/20/22

BY: [Signature]

ELEVATIONS

A200



BEAN RESIDENCE
 1817
 1817 SOUTH 1300 EAST
 HIGHTSVILLE, UT 84037



PERMIT SET
 0423 2023
 1/2" = 1'-0"
 SITE PLAN
 AS 100

SITE PLAN NOTES:

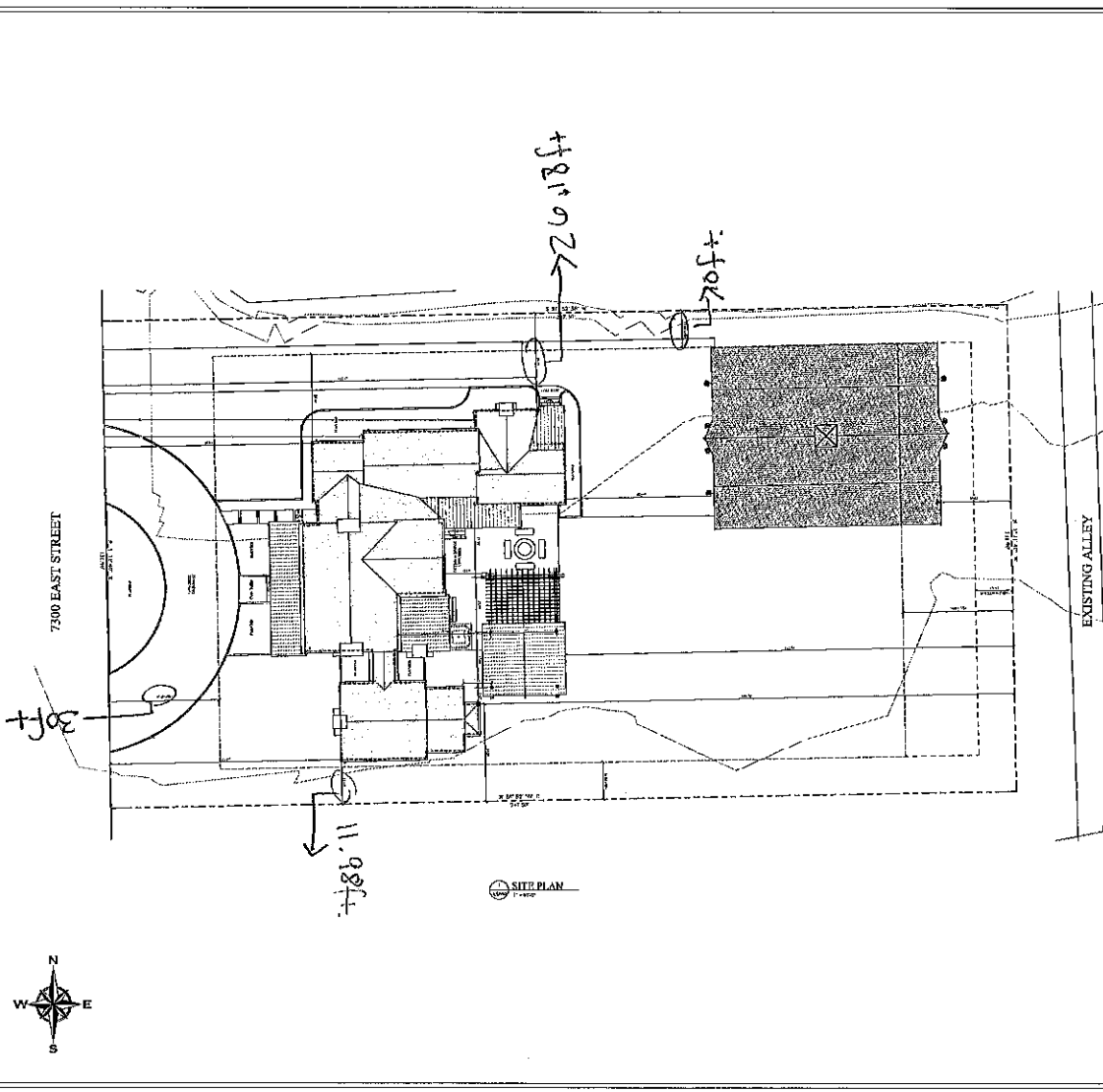
- GRADE HEIGHTS SHOWN ARE BASED ON AVAILABLE DATA. VERTICAL CURVING IS PERMITTED AS REQUIRED BY LOCAL CODE AND ORDINANCES.
- DEVELOPMENT SHALL BE IN ACCORDANCE WITH ALL REGULATIONS OF THE CITY OF HIGHTSVILLE.
- DEVELOPMENT SHALL BE LOCATED ON ANY PARCELS WITHIN THE RIGHT OF WAY.
- FOOTINGS OF STRUCTURES LOCATED ON SLOPES SHALL BE STEEPER THAN A 3:1 RATIO AND SET BACK FROM THE EDGE AT LEAST TO THE HEIGHT OF THE SLOPE. AT THE TOP AND TO THE HEIGHT OF THE SLOPE IF AT THE BOTTOM OF THE SLOPE (SLOPE IS).
- ANY RETAINMENT WALL OVER 4 FEET IN HEIGHT FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL SHALL BE AN APPROVED DESIGN WITH ENGINEER'S DETAILS INCLUDED ON PLAN.
- LOTS OR PORTS ARE NOT TO BE BUILT WITHIN 5 FEET OF THE FRONT YARD LINE.
- SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. SURFACE WATER SHALL NOT BE STORED ON THE SITE OR IN AN APPROVED PLANNING COURSE. DRAINAGE SLOPES SHALL BE DETERMINED BY THE ENGINEER. ALL DRAINAGE SLOPES SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- ROOF DRAINAGE SHALL BE COLLECTED AND DISCHARGED TO LOCAL DRAINAGE SYSTEMS.
- EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. APPROVED UTILITIES SHALL BE MAINTAINED AND PROTECTED. SURFACE WATER SHALL NOT BE STORED ON THE SITE OR IN AN APPROVED PLANNING COURSE. DRAINAGE SLOPES SHALL BE DETERMINED BY THE ENGINEER. ALL DRAINAGE SLOPES SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- NO NEW UTILITIES SHALL BE LOCATED ON THE SITE OR IN AN APPROVED PLANNING COURSE. APPROVED UTILITIES SHALL BE MAINTAINED AND PROTECTED. SURFACE WATER SHALL NOT BE STORED ON THE SITE OR IN AN APPROVED PLANNING COURSE. DRAINAGE SLOPES SHALL BE DETERMINED BY THE ENGINEER. ALL DRAINAGE SLOPES SHALL BE IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES.
- WHEN APPLICABLE, SELF-CLEAR & SELF-LAUNCHING DATE REQUIRED FOR POOL.

LEGEND:

- PROPERTY LINE
- SERVICE LINE
- EASEMENT LINE
- LOT LINE
- CURB/STREET LINE
- DRIVEWAY
- SIDEWALK
- DRIVEWAY

BUILDING DATA:

LOT SIZE	=	32,676 SQ FT (0.74 AC)
STRUCTURED AREA (MULTI-LEVEL FOOTPRINT)	=	6,149 SQ FT (18.84%)
UNSTRUCTURED AREA (RESERVED - PAVING)	=	4920 SQ FT (15.06%)



house - sq - 3,408 + outside / other = 752 sq ft

20220019



LAND USE PERMIT

Huntsville Town Building Inspection
7309 E. 200 S.
P.O. Box 267, Huntsville, UT 84317
(801) 745-3420

Tax ID # 240140027

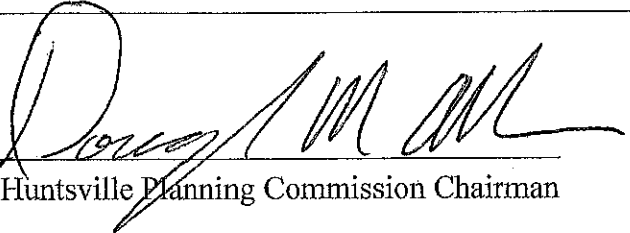
Address of Structure 1405. 7300E. ~~Mountain~~ (Barn)

Name & Address of Owner/Owners Kerstin Bean 801-493-9954

The above described Site Plan has been reviewed for setback compliance by the Huntsville Town Planning Commission on: 6-23-2002

Set Backs Approved: Yes No

Any special stipulations and conditions of the Site Plan Review: NO human habitation

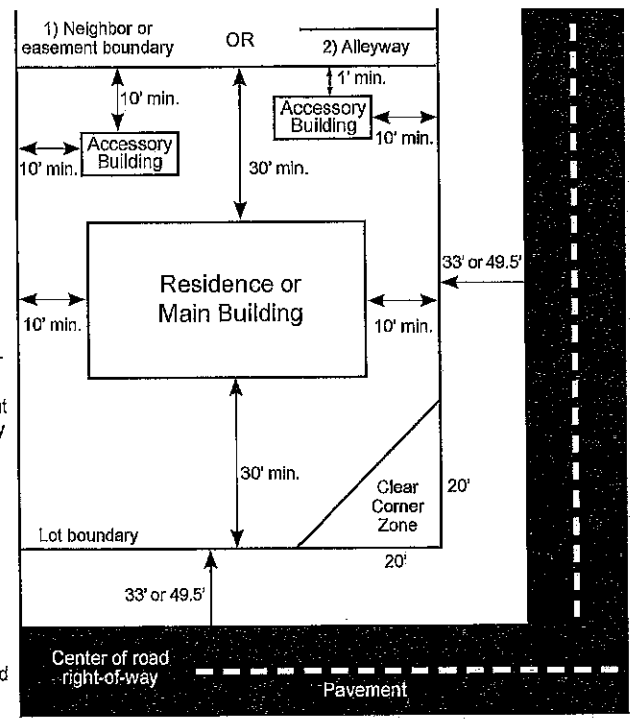

Huntsville Planning Commission Chairman

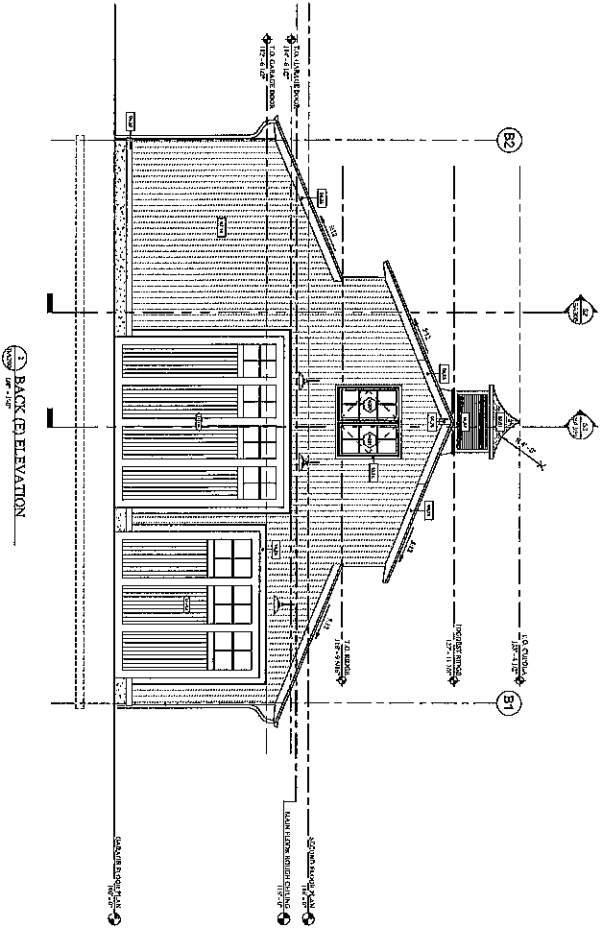
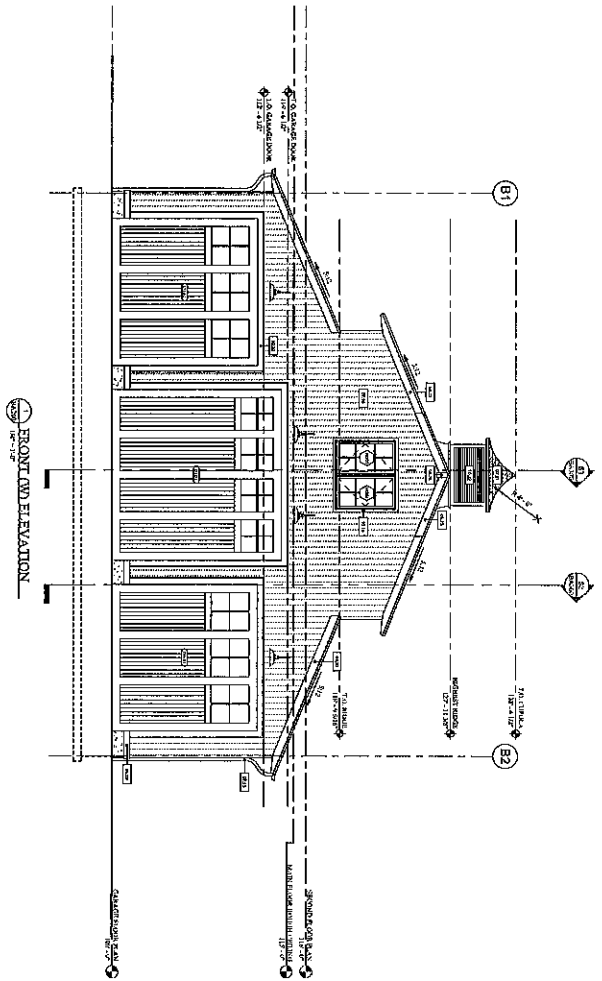
Property Owner Signature

"By signing this form, the applicant agrees that they understand that the Huntsville Town R-1 zone, which their lot is zoned, only allows for one single family dwelling on the lot. The applicant also agrees that they understand that if any changes to their site plan are made after the Land Use Permit is issued, that those changes must be approved by the Planning Commission."

- Minimum lot size = 0.75 acre (32,670 sq. ft.)
- Minimum width = 130 feet (120 feet if bounded by an alleyway)

Huntsville Town Residential Zone Setbacks





- ELEVATION NOTES:**
- SEE PAGE AND WINDOW SCHEDULE FOR DOOR AND WINDOW HEAD, JAMB AND SILL DETAILS.
 - DETAILS SHOW SECTIONS FOR ROOF BEARING MEMBERS AND SILL JOISTS.
 - SEE DIMENSION LAYOUT PLANS FOR WINDOW AND DOOR SIZES.
 - FOR CLIPPED ROOF SECTIONS, SEE ROOF PLAN FOR SLOPE AND DIRECTION.
 - FOR SHED ROOF SECTIONS, SEE ROOF PLAN FOR SLOPE AND DIRECTION.

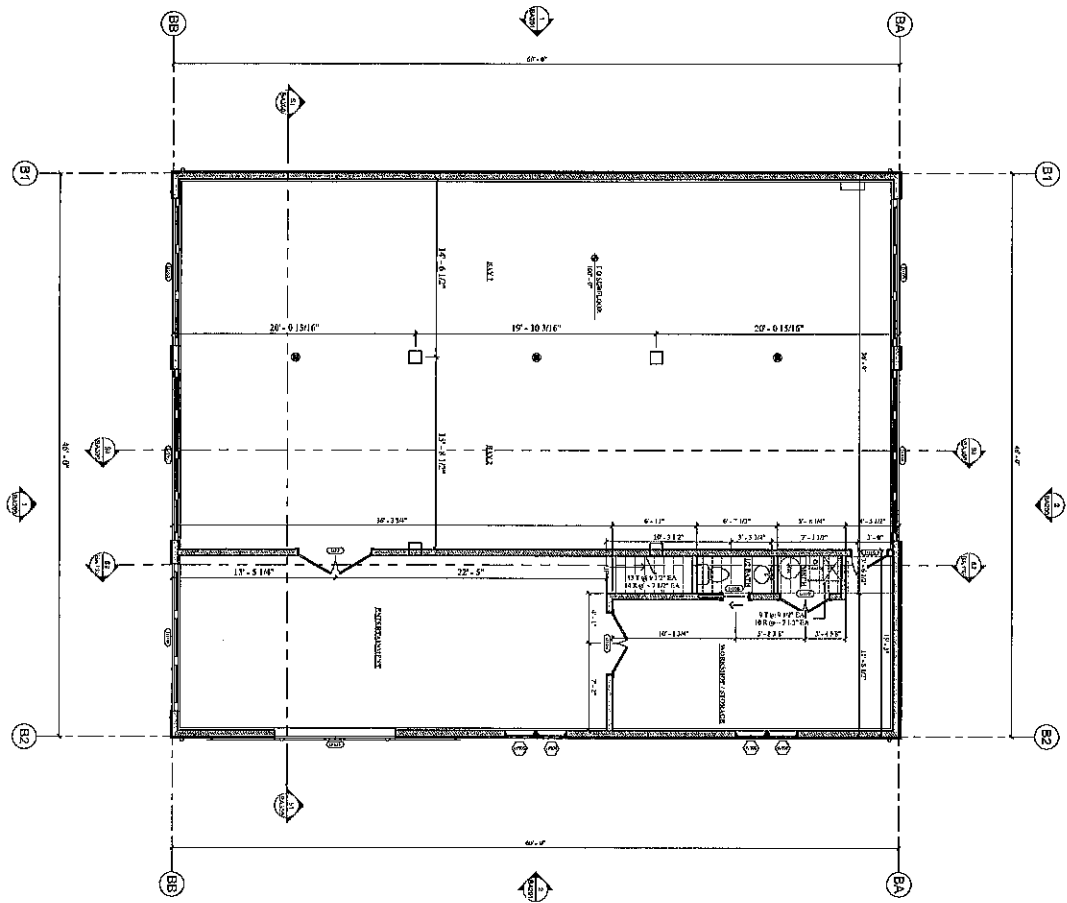
KEYED NOTES

NO.	DESCRIPTION
1	SEE ARCHITECTURAL PLAN FOR WINDOW AND DOOR SIZES
2	SEE ARCHITECTURAL PLAN FOR ROOF BEARING MEMBERS
3	SEE ARCHITECTURAL PLAN FOR SILL JOISTS
4	SEE ARCHITECTURAL PLAN FOR WINDOW AND DOOR SIZES
5	SEE ARCHITECTURAL PLAN FOR ROOF BEARING MEMBERS
6	SEE ARCHITECTURAL PLAN FOR SILL JOISTS
7	SEE ARCHITECTURAL PLAN FOR WINDOW AND DOOR SIZES
8	SEE ARCHITECTURAL PLAN FOR ROOF BEARING MEMBERS
9	SEE ARCHITECTURAL PLAN FOR SILL JOISTS
10	SEE ARCHITECTURAL PLAN FOR WINDOW AND DOOR SIZES
11	SEE ARCHITECTURAL PLAN FOR ROOF BEARING MEMBERS
12	SEE ARCHITECTURAL PLAN FOR SILL JOISTS

Beam 2, 7UD 5x10



1 MAIN FLOOR DIMENSION PLAN



- DIMENSION PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. OPENINGS, UNLESS OTHERWISE NOTED, ARE TO FACE UNLESS OTHERWISE NOTED.
 3. REFER TO STRUCTURAL FOR ALL DIMENSIONS SMALLER THAN 1/8" IN ANY DIMENSION.

<p>BEAN RESIDENCE KERSTIN & WADE BEAN 140 SOUTH 7300 EAST HUNTSVILLE, UT 84317</p>	<p>SCHELMATIC DESIGN 96722 8625 907-508-1000 www.schematicdesign.com</p>	<p>DALLEY DESIGN STUDIO 1015 S. 1000 E. SUITE 100 HUNTSVILLE, UT 84317 907-508-1000 www.dalleydesignstudio.com</p>	<p>BA110 MAIN FLOOR DIMENSION PLAN</p>
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1000 N. 10TH ST. SUITE 100
MUNSVILLE, TN 37132
615.894.1100
www.dalleydesign.com

BEAN RESIDENCE
166 SUGAR CREEK EAST
MUNSVILLE, TN 37132

PERMIT SF 1
4/22/2012
166 SUGAR CREEK EAST

SITE PLAN

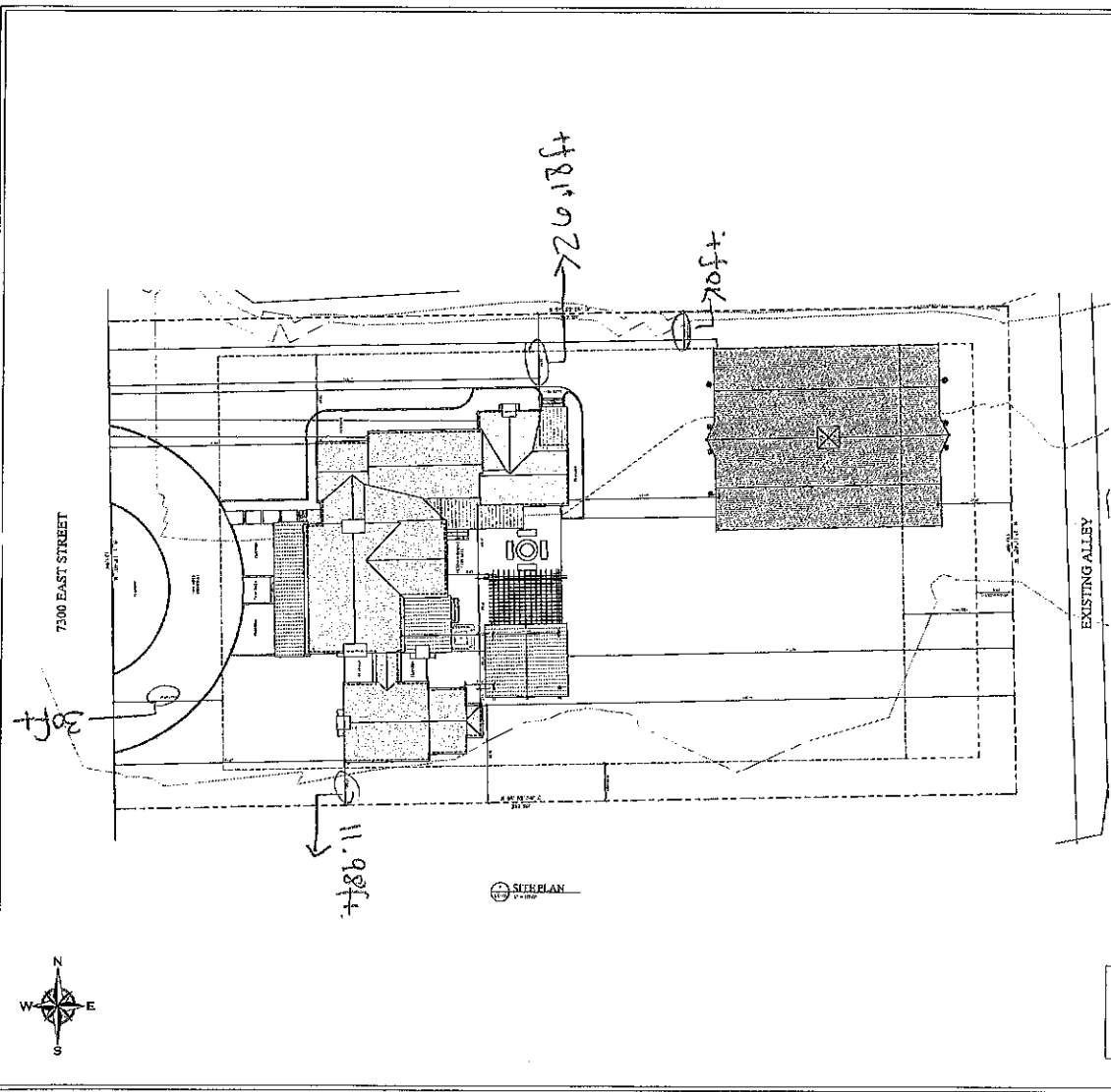
AS100

- SITE PLAN NOTES:**
- GRADE PROFILES SHOWN ARE BASED ON AVAILABLE DATA. CONSTRUCTION TO VERIFY OR FIELD SURVEY FOR LOCAL, CORNE AND ADJACENT.
 - BUILDING LOCATIONS MUST COMPLY WITH ALL REGULATIONS OF THIS CITY GOVERNMENT.
 - BUILDINGS CANNOT BE LOCATED ON ANY EASEMENTS OR RIGHT OF WAY.
 - FOUNDATIONS OF STRUCTURES LOCATED ADJACENT TO SLOPES STEEPER THAN 4:1 MUST BE SET BACK FROM THE SLOPE AT LEAST TO THE HEIGHT OF THE SLOPE AT THE FOOT AND TO THE HEIGHT OF THE SLOPE IF AT THE BOTTOM OF THE SLOPE (FIG. 17).
 - ANY REVISIONS TO ALL COVER 4 FT IN WIDTH FROM THE BOTTOM OF THE FLOORING TO THE TOP OF THE WALL MUST BE AN APPROVED DESIGN WITH ENGINEER'S DETAILS INCLUDED HEREIN.
 - CUTS OR FILLS ARE NOT PERMITTED WITHIN 2 FT OF THE PROPERTY LINE.
 - SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. ONLY THE DRAINAGE SLOPE TO THE STREET OR TO AN ACCEPTED DRAINAGE COURSE. GROUND WATER SHALL NOT BE USED FOR DRAINAGE. ALL DRAINAGE SHALL BE COLLECTED AND DISPOSED OF BY AN APPROVED METHOD.
 - SOIL REPORT SHALL BE COLLECTED AND TESTED FOR LOCAL CODES AND ORDINANCES.
 - CONCRETE SHALL BE AN ALL-WEATHER DRIVING SURFACE. A DRIVEWAY BEING AS AN EXCESS PART SHALL NOT BE MORE THAN 1/4" IN. BOWTIE WITH DRIVINING SURFACE OF SAME MATERIAL.
 - WATER SETS SHALL BE LOCATED IN FRONT OF WATER AUTHORITY, SIDEWALK, OR DRIVE AREAS.
 - POLES LOCATED IN POTENTIAL FLOOD AREAS WILL BE REQUIRED TO HAVE ELEVATION CRITERIA SET PRIOR TO AND AFTER CONSTRUCTION OF STRUCTURE (LOCAL 11.14.01).
 - WHEN APPLICABLE, FLOOD PROTECTION REQUIREMENTS FOR FLOOD.
 - WHEN APPLICABLE, SET CLOSURE SHALL BE LOCATED DATE REQUIRED FOR FLOOD.



BUILDING DATA	
LOT SIZE	02.47002 (0.33 AC)
STRUCTURED AREA (INCLUDING FOOTPRINT)	6,114 SF (24.4%)
OVERHEAD AREA (STRUCTURED - TRAILING)	4920 SF (11.6%)

2012 VOLUME 131 (12/1/12) 108-010



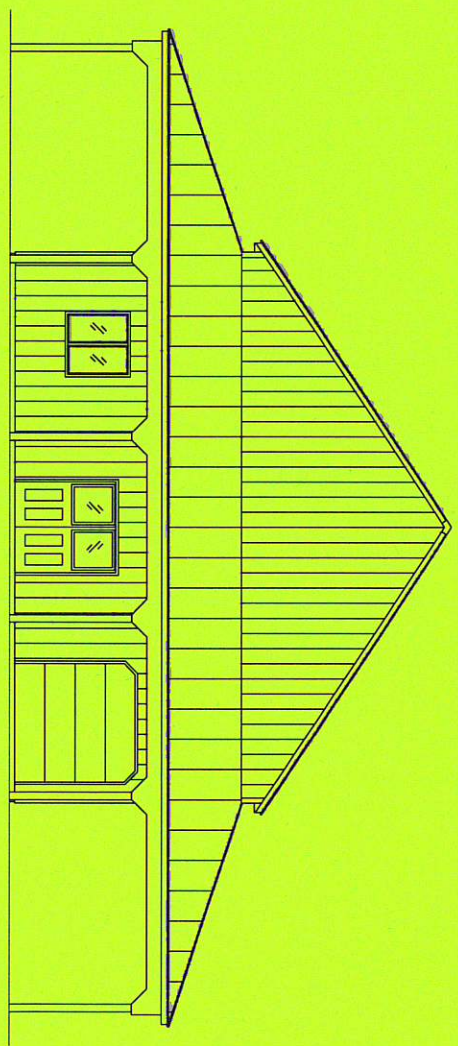
house - sq
Barn -

PC Meeting 6-23-2022
Attachment # 5

DRAWING NOTES

- DESIGN CODE: 2018 IBC.
 USE GROUP: M
 CONSTRUCTION TYPE VB
 DESIGN CATEGORY: RISK CATEGORY II
- SEISMIC CRITERIA:
 DESIGN CATEGORY D
 SOIL SITE CLASS D (ASSUMED)
 $R = 2.5$ (LIGHT-FRAME WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS)
 $SS = 0.746g$, $SI = 0.257g$; $SDS = 0.598g$
 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE
 BASE SHEAR = 15,045 LBS
- WIND LOAD:
 ULTIMATE WIND DESIGN SPEED: 103 MPH 3 SEC. GUST
 TERRAIN EXPOSURE C
- FROST DEPTH: 40 IN
 SITE ELEVATION: 5010 FT
- SNOW LOAD:
 GROUND SNOW LOAD: 54 PSF
 ROOF DESIGN SNOW LOAD: 30 PSF MAIN: 54 PSF LEAN
- DEAD LOADS:
 ROOF 6 PSF
 WALLS 6 PSF
- ROOF LIVE LOAD: 20 PSF
- CONCRETE FOUNDATION NOTES:
 1. 28 DAY STRENGTH (FC) W/ NORMAL 145 PCF DENSITY:
 1.1. FOOTINGS: 3000 PSI
 1.2. SLABS ON GRADE: 3000 PSI REQ'D, 3500 PSI RECOMMEND
 2. ALL SLABS: PROVIDE A MIN. THICKNESS OF 4" W/ 4" DEEP MIN. CRUSHED GRAVEL BASE.
 3. CONTRACTION/CONTROL JOINTS SHALL BE INSTALLED IN SLABS ON GRADE SO THE LENGTH TO WIDTH RATIO OF THE SLAB IS NO MORE THAN 1.5:1. CONTROL JOINT SPACING SHALL NOT EXCEED 30 TIMES THE SLAB THICKNESS IN ANY DIRECTION, UNLESS OTHERWISE NOTED.
 4. CONTROL JOINTS SHALL BE COMPLETED WITHIN 6-18 HOURS OF CONCRETE PLACEMENT.
 5. CONTROL JOINTS SHALL BE TOOLED OR SAWED TO THE GREATER DEPTH OF 1" DEEP OR 1/4 THICKNESS OF CONCRETE SLAB.
- SOILS AND EXCAVATION:
 6. NO SOILS REPORT PROVIDED - STABLE SOIL CHARACTERISTICS ASSUMED. ALL DESIGN WAS BASED ON STABLE SOIL CHARACTERISTICS. GEOTECHNICAL HAZARDS FOUND ON OR AROUND THE SITE, INCLUDING EXPANSIVE CLAYS, OR SOILS FOUND AT THE SITE WHILE EXCAVATION OCCURS WHICH DIFFERS FROM THOSE ASSUMED SHOULD BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICAL AND ENGINEER.
 7. ALLOWABLE BEARING PRESSURE: 1500 PSF
 8. NATIVE MATERIAL SURROUNDING FOOTING TO BE DISTURBED MINIMALLY DURING EXCAVATION.
 9. FOOTINGS SHALL BE PLACED ENTIRELY IN UNDISTURBED NATIVE SOILS OR STRUCTURAL FILL WHICH IS BEARING ON UNDISTURBED NATIVE SOILS AND IS COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY.
- GENERAL:
 10. PLEASE REFER TO THE STRUCTURAL CALCULATIONS FOR ALL SPECIFICATIONS AND DESIGN CRITERIA NOT LISTED HERE. WHERE DETAILS ARE NOT SPECIFIED, TYPICAL DETAILS AS SPECIFIED ON PLANS AND ON THE STRUCTURAL DETAILS SHEET SHALL APPLY.
 11. FOR SPECIFICATIONS NOT SHOWN REFER TO THE IBC.

MONASTERY MARKET BUILDING



BUILDING INFORMATION

SITE INFORMATION:
 ADDRESS:
 1200 S 9500 E
 HUNTSVILLE, UTAH


BUILDING INFORMATION:
 DIMENSIONS: 36' x 48'
 ENCLOSED: 1728 S.F.
 LEANS: 1848 S.F.
 TOTAL: 3576 S.F.

OWNER

HUNTSVILLE ABBEY FARM, LLC
 CONTACT: BILL WHITE
 BWHITE@UTAHMATER.COM
 PHONE: 801-518-7422

DRAFTING & ENGINEERING


MOUNTAIN POINT ENGINEERING
 CONTACT: DEREK LLOYD
 DEREK@MOUNTAINPOINTENGINEERING.COM
 PHONE: 801-450-5352



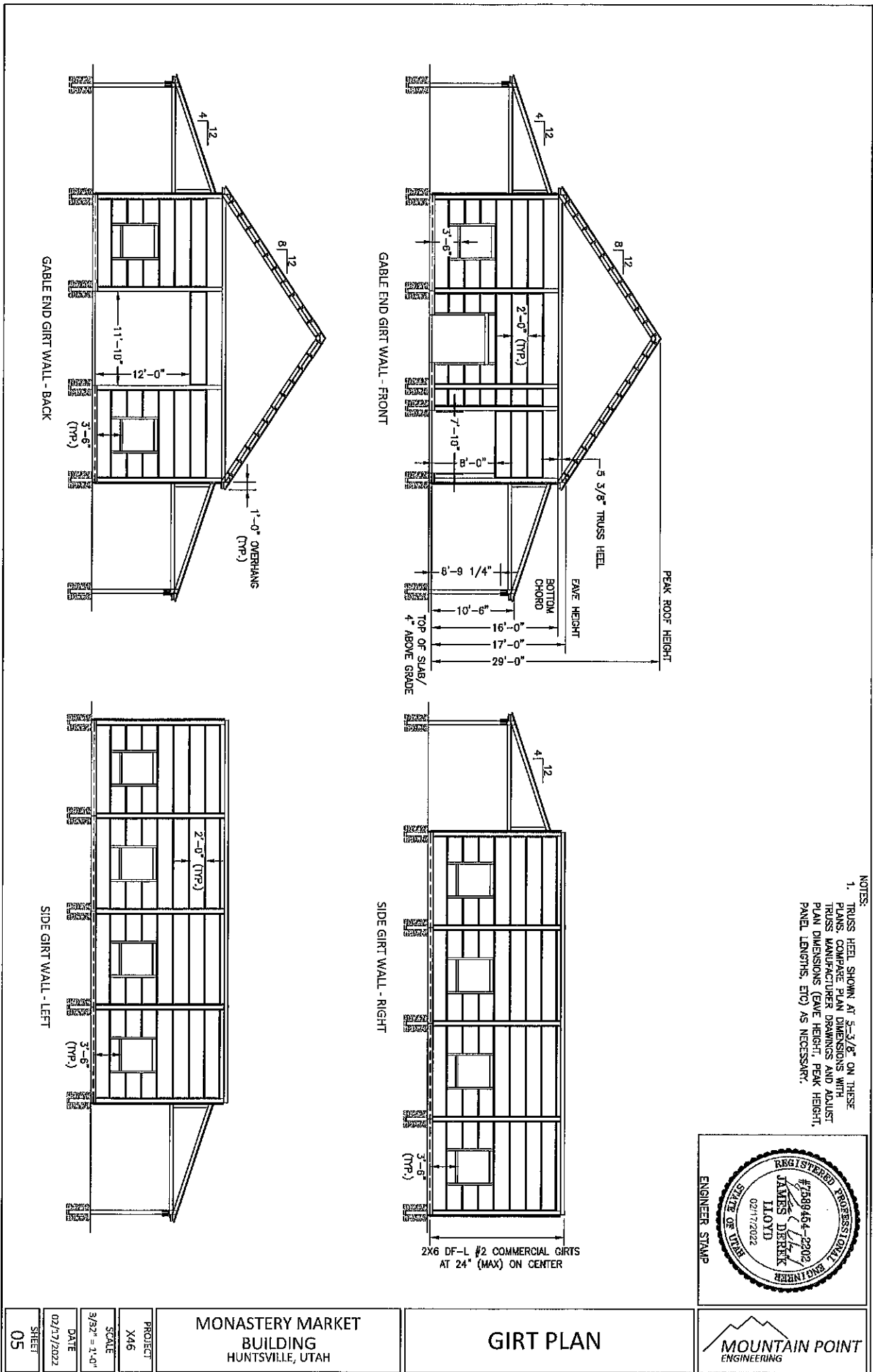
DRAWING INDEX

SHEET	DESCRIPTION
00	COVER SHEET
01	FOUNDATION PLAN
02	FLOOR PLAN
03	ROOF PLAN
04	ELEVATIONS
05	GIRT PLAN
06	PANEL LAYOUT
07-09	DETAIL SHEETS

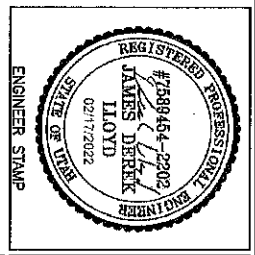
DATE: 02/17/2022



ENGINEER STAMP



NOTES:
 1. TRUSS HEEL SHOWN AT 5-3/8" ON THESE PLANS. COMPARE PLAN DIMENSIONS WITH TRUSS MANUFACTURER DRAWINGS AND ADJUST PLAN DIMENSIONS (EAVE HEIGHT, PEAK HEIGHT, PANEL LENGTHS, ETC) AS NECESSARY.

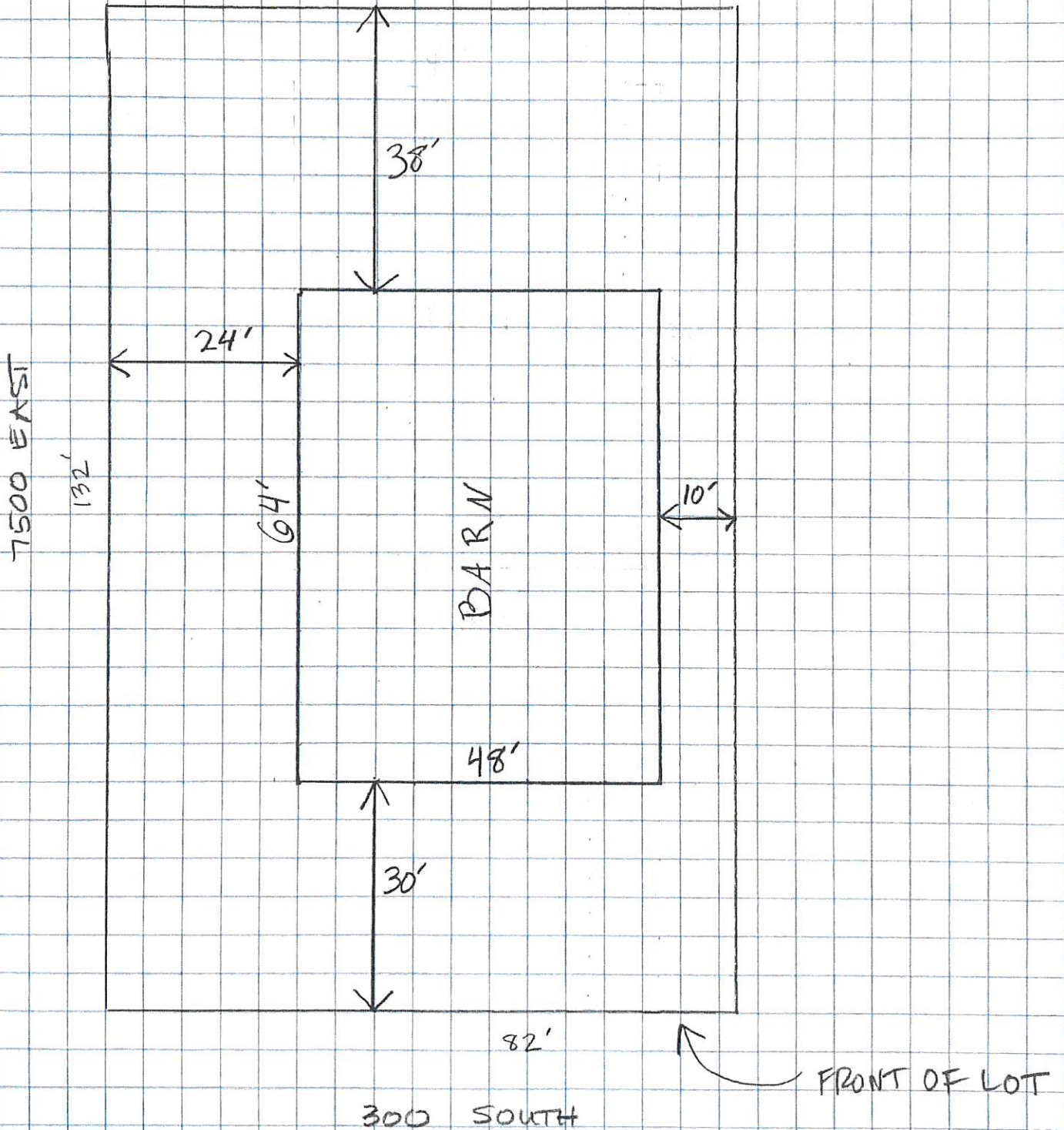


GIRT PLAN

MONASTERY MARKET
 BUILDING
 HUNTSVILLE, UTAH

PROJECT	X46
SCALE	3/32" = 1'-0"
DATE	02/17/2022
SHEET	05

PARCEL # 240100014
WILLIAM WHITE





LAND USE PERMIT

Huntsville Town Building Inspection
7309 E. 200 S.
P.O. Box 267, Huntsville, UT 84317
(801) 745-3420

Tax ID # 240100014

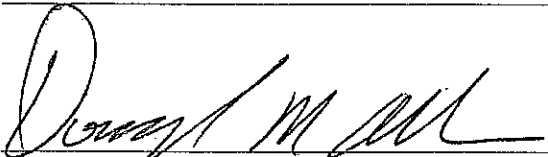
Address of Structure 280 South 7500 East

Name & Address of Owner/Owners Bill White

The above described Site Plan has been reviewed for setback compliance by the Huntsville Town Planning Commission on: 4-22-21

Set Backs Approved: Yes No

Any special stipulations and conditions of the Site Plan Review: none

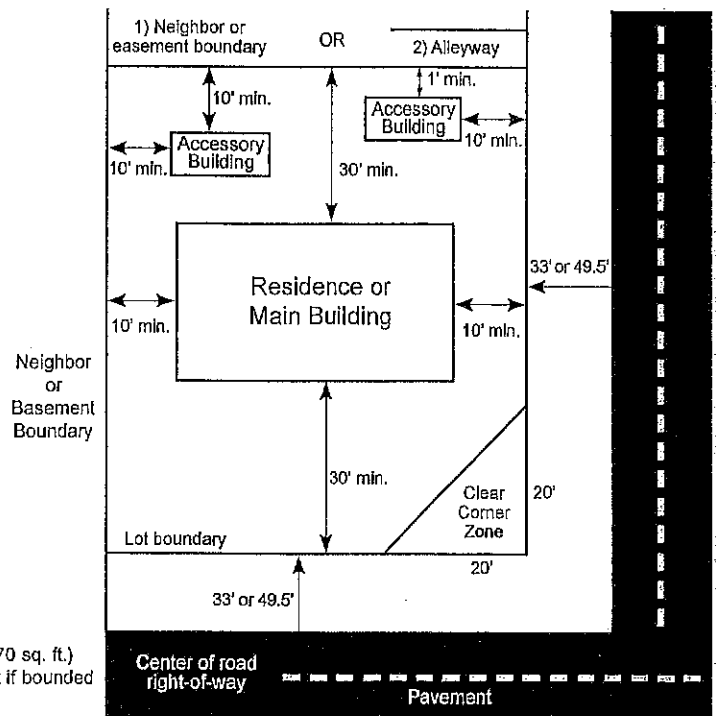

Huntsville Planning Commission Chairman

Property Owner Signature

"By signing this form, the applicant agrees that they understand that the Huntsville Town R-1 zone, which their lot is zoned, only allows for one single family dwelling on the lot. The applicant also agrees that they understand that if any changes to their site plan are made after the Land Use Permit is issued, that those changes must be approved by the Planning Commission."

- Minimum lot size = 0.75 acre (32,670 sq. ft.)
- Minimum width = 130 feet (120 feet if bounded by an alleyway)

Huntsville Town Residential Zone Setbacks



20220017



LAND USE PERMIT

Huntsville Town Building Inspection

7309 E. 200 S.

P.O. Box 267, Huntsville, UT 84317

(801) 745-3420

Tax ID # 00014
2401

Address of Structure 2855. N 500 E

Name & Address of Owner/Owners Bill White

The above described Site Plan has been reviewed for setback compliance by the Huntsville Town Planning Commission on: 6-23-2022

Set Backs Approved: Yes No

Any special stipulations and conditions of the Site Plan Review: None

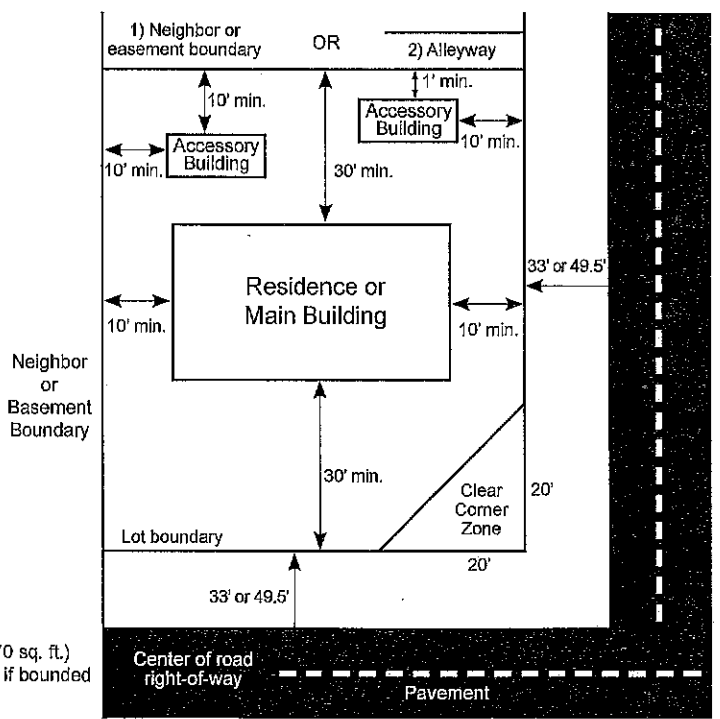
Huntsville Planning Commission Chairman

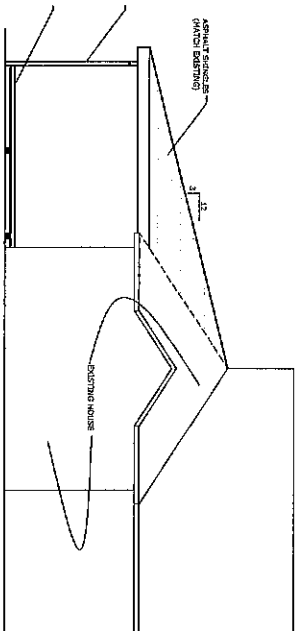
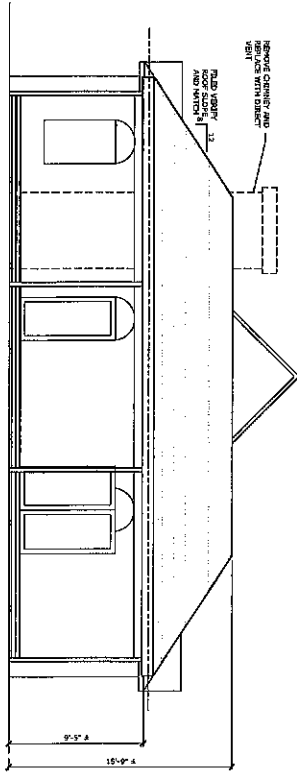
Property Owner Signature

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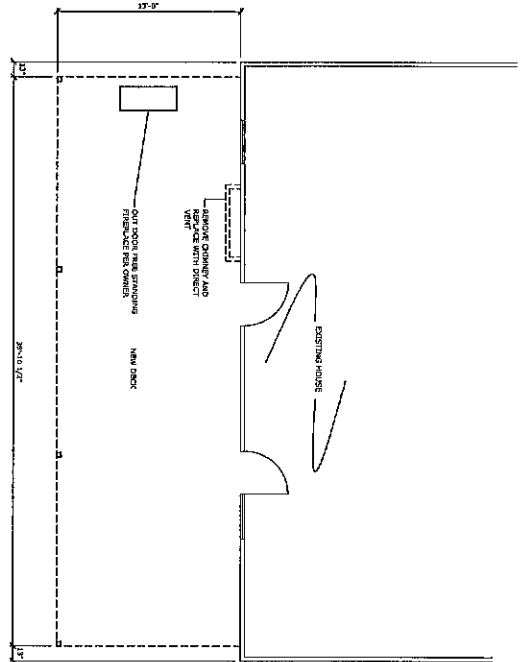
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- Minimum width = 130 feet (120 feet if bounded by an alleyway)

Huntsville Town Residential Zone Setbacks





DECK ELEVATION
SCALE: 1/4" = 1'-0"



NEW DECK PLAN
SCALE: 1/4" = 1'-0"

A-1

HANSEN RESIDENCE

400 South 7700 East
Huntsville, UT

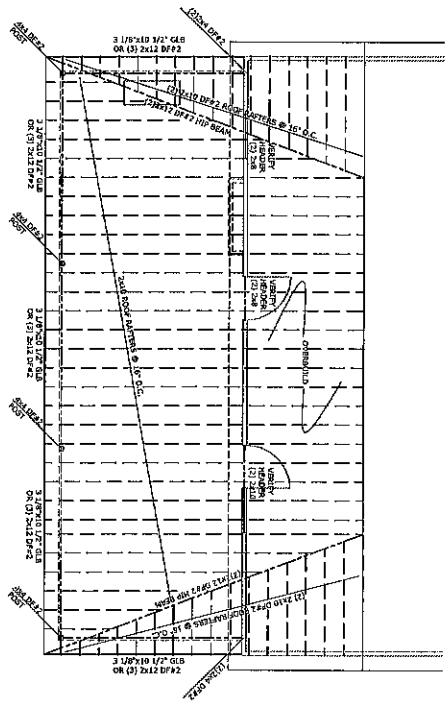
DECK PLAN

IT IS HEREBY STATED THAT THE DESIGNER HAS REVIEWED THE PROJECT AND IS NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND FOR THE PROJECT. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE PLANS. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE PLANS. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE PLANS. THE DESIGNER DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT.

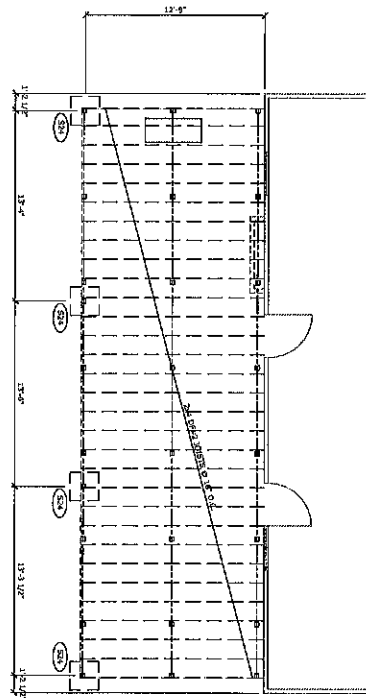
DESIGNER SEAL

PROFESSIONAL SEAL

DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"



SHOULD ALWAYS BE USED FOR ALL DECK JOISTS AND BEAMS. ALL JOISTS AND BEAMS TO BE SET ON CONCRETE SLAB OR GRAVEL WITH 2" MINIMUM SAND UNDER JOISTS AND BEAMS.



FOOTINGS SHALL BE SET ON CONCRETE OR GRAVEL WITH 2" MINIMUM SAND UNDER FOOTINGS.

DECK FOOTING PLAN
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE

FOOTING	FOOTING TYPE	FOOTING DIMENSIONS
F1	1" REINFORCED CONCRETE	12" x 12" x 12"
F2	1" REINFORCED CONCRETE	12" x 12" x 12"
F3	1" REINFORCED CONCRETE	12" x 12" x 12"
F4	1" REINFORCED CONCRETE	12" x 12" x 12"

NOTES: 1. ALL FOOTINGS ARE TO BE SET ON CONCRETE OR GRAVEL WITH 2" MINIMUM SAND UNDER FOOTINGS. 2. FOOTING TO MAINTAIN 1/2" CLEARANCE FROM ALL SIDES.

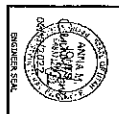
S-1

HANSEN RESIDENCE

400 South 7700 East
Huntville, UT

FRAMING PLANS

IT IS IMPORTANT FOR THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS RESPONSIBILITY TO BE SURE THIS PROJECT IS CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES. THE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES AND ORDINANCES. THIS FIRM DOES NOT BELIEVE THE CONTRACTOR'S WORK SHALL BE AT HIGHER STANDARD. NO OMISSION FROM THESE PLANS GIVES PERMISSION FOR VIOLATION OF ANY CODE OR ORDINANCE. NO APPROVAL GIVES PERMISSION TO VIOLATE ANY CODE OR TOWN ORDINANCE. LIABILITY LIMITED TO GENERAL DESIGN AND DIMENSIONS OF STRUCTURAL ENGINEERING FOR PROJECT AND SMALL NOT EXCEED EVERSOLE RANCH ENGINEERING, L.L.C. PROJECT STRUCTURAL ENGINEERING EXCLUDES SOILS AND GEOTECHNICAL ENGINEERING.





Imagery ©2022 Google, Imagery ©2022 Maxar Technologies, State of Utah, Map data ©2022 Google 50 ft

* from back of house to
end of property 291 ft.

* from front door to street
54.28 ft.

* ~~to~~ end of deck to property line
31 ft on R side 155.31 on L

* Deck approximately 13 off back
of house leaving 278 ft to
back of property



LAND USE PERMIT

Huntsville Town Building Inspection
7309 E. 200 S.
P.O. Box 267, Huntsville, UT 84317
(801) 745-3420

Tax ID # 240790001

Address of Structure 4005. 7700 E (Deck Extension)

Name & Address of Owner/Owners Hansen

The above described Site Plan has been reviewed for setback compliance by the Huntsville Town Planning Commission on: 01/23/2022

Set Backs Approved: Yes No

Any special stipulations and conditions of the Site Plan Review: Subject to Building Permit

Huntsville Planning Commission Chairman

Property Owner Signature

"By signing this form, the applicant agrees that they understand that the Huntsville Town R-1 zone, which their lot is zoned, only allows for one single family dwelling on the lot. The applicant also agrees that they understand that if any changes to their site plan are made after the Land Use Permit is issued, that those changes must be approved by the Planning Commission."

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- Minimum width = 130 feet (120 feet if bounded by an alleyway)

Huntsville Town Residential Zone Setbacks

